

St Nicholas Hurst Neighbourhood Plan

Analysis of Responses to Household Questionnaire

September – October 2019



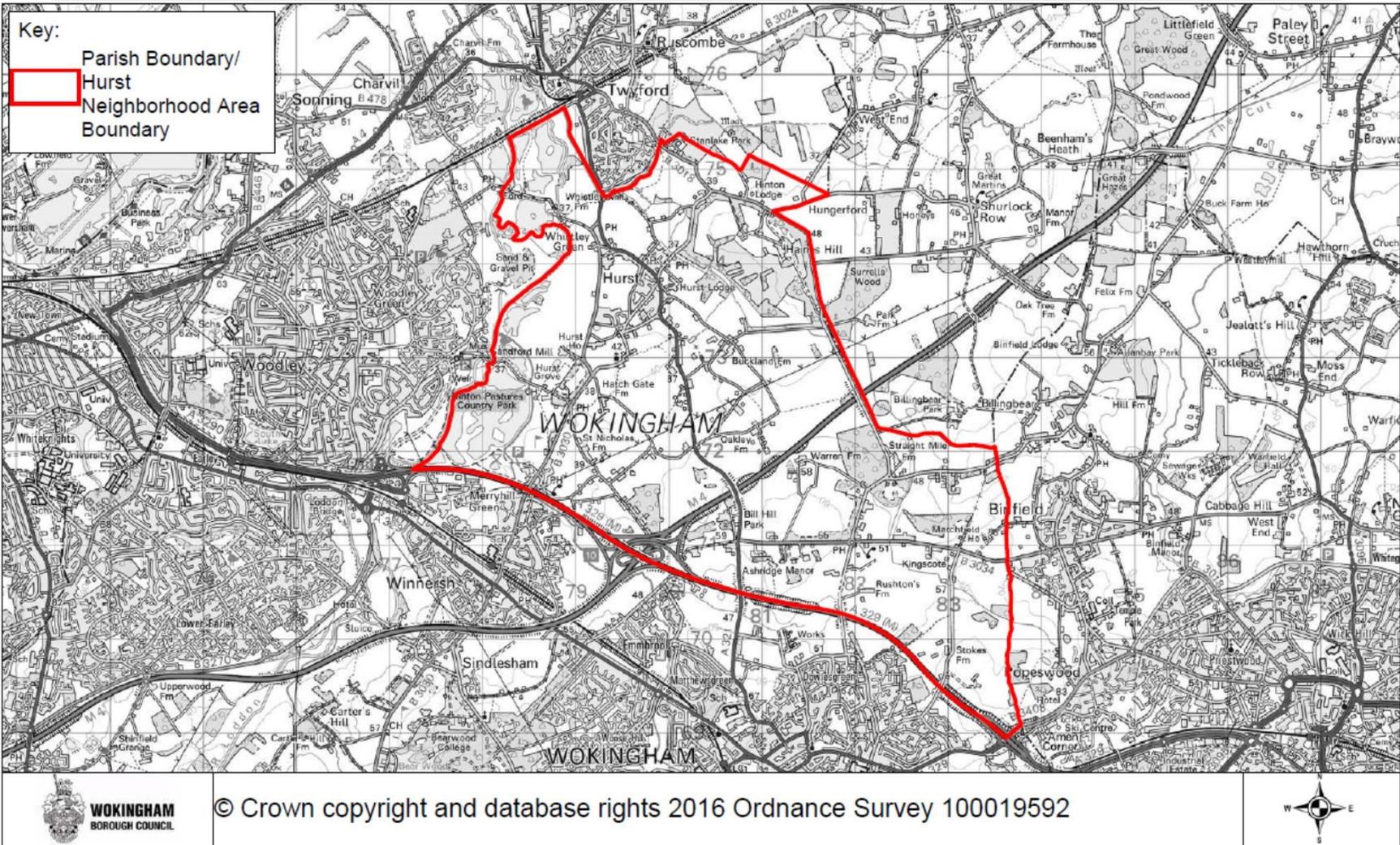
Overview of the Presentation

- 1) Background to the Neighbourhood Plan
- 2) Strategic Planning Context – Wokingham
- 3) Neighbourhood Plan – Next Steps
- 4) Analysis of the Household Questionnaire Results
- 5) Questions and Answers

Background to the Neighbourhood Plan

- In Autumn 2017, the Parish Council decided that a Neighbourhood Plan should be developed.
- The Parish Council established a **Neighbourhood Plan Project Team** to oversee the development of the Plan. The project team is comprised of Parish Councillors, members of the Hurst Village Society Committee and other independent local volunteers.
- Hurst Parish was designated by Wokingham Borough Council as a 'Neighbourhood Area' in April 2018.
- As part of the evidence gathering, a household questionnaire was sent out to every household in the Parish in September 2019.

Hurst Neighbourhood Area Boundary



Strategic Planning Context - Wokingham

- Neighbourhood Plans need to be in conformity with local strategic planning. This means that they should be guided by the strategic policies of the Wokingham Local Plan. Wokingham Borough Council (WBC) are currently preparing an update to the Local Plan, so there is a need to consider both existing and proposed new planning policies.
- WBC are currently running a consultation on the draft Local Plan to deliver a **minimum of 13,901 homes up to 2036**. The deadline for responses is 20 March 2020. They intend to adopt the new Local Plan by the end of 2021.

Neighbourhood Plan – Next Steps

- 1) Finalise the gathering of evidence.
- 2) Drafting the Neighbourhood Plan, including writing policies that will guide future development in the Parish.
- 3) Reg 14 consultation (to be run by the Parish Council).
- 4) Submission of the plan to WBC and Reg 16 consultation.
- 5) Independent 'Examination' of the plan.
- 6) Plan to be put to a vote by all residents in the Parish (subject to the need for no further modifications).
- 7) Plan is 'made' by WBC and adopted as part of the Development Plan.

Analysis of the Questionnaire Results

In total, 349 responses were received, which equates to approximately half of the households in the Parish.

A summary of some the key points to take the responses is as follows:

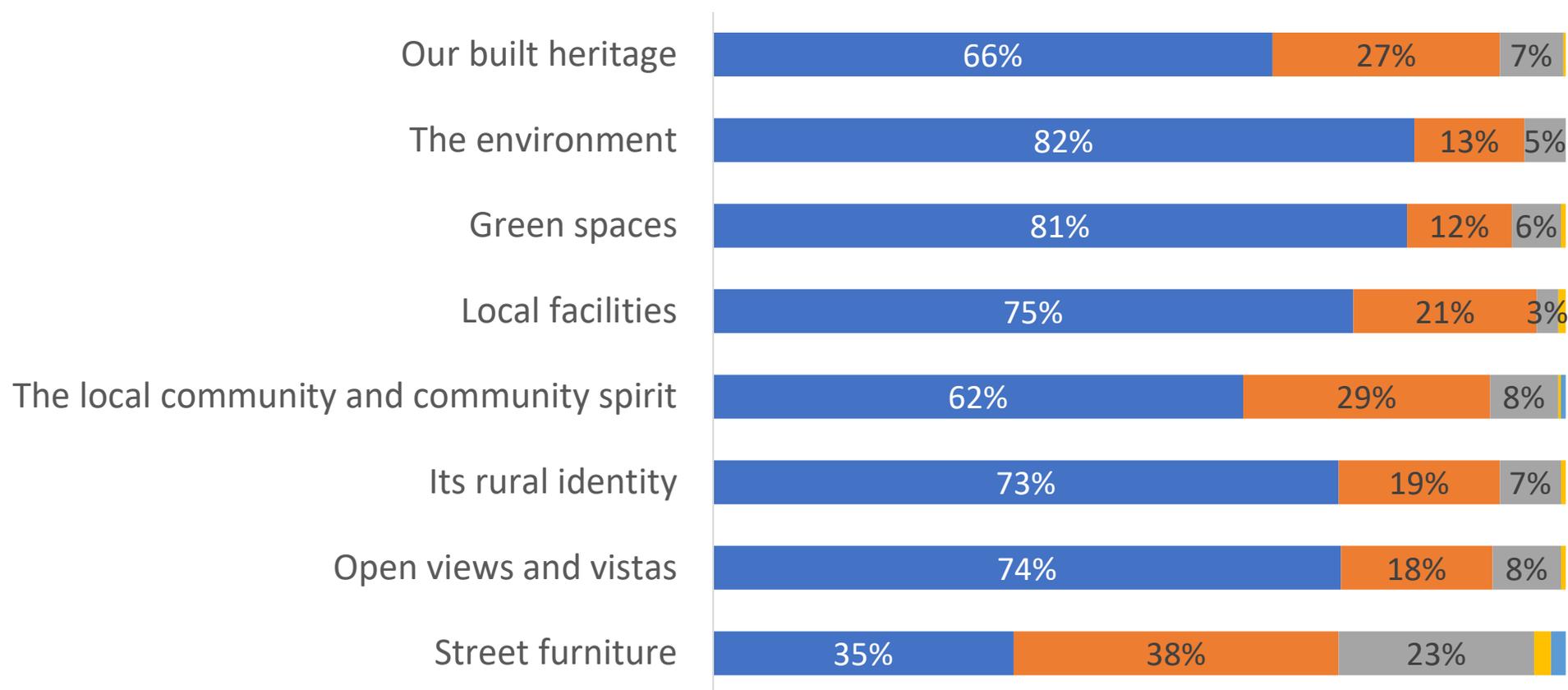
- Many concerns raised about the need to protect local green spaces and the character of the area, as well as concerns over road safety.
- Most people own their own home and use a car as their main mode of transport.
- There is a wide range of views about how much housing is needed in Hurst and the reasons behind the specified housing need.

Section 1 – Valuable Features

Section 1 explored what respondents valued most about the village. This listed the key features of Hurst that had been identified in earlier community consultations as most valuable, asking for views. There was an option of elaborating on the answers and to add anything additional.

Q1.1 What people value most about Hurst

■ Strongly Agree ■ Agree ■ No Opinion/No Response ■ Disagree ■ Strongly Disagree



Q1.2 Additional matters raised by respondents

Theme identified	Number of times raised
Character	22
Green spaces/biodiversity	6
Pollution	6
Transport	5
Urban design	5
Services	4
Infrastructure	3
Access/Rights of Way	2
Agriculture/business	2
Heritage	2
Housing/development	2

Section 2 – Heritage Assets

Section 2 asked if, in addition to the heritage assets already recognised by the planning system, there were any buildings, places or views considered worthy of recognition within the plan.

There was a wide range of responses to Q2.1. A summary of the number of responses relating to certain themes is shown below:

- 18 comments on **views and landscape character**
- 13 comments on **specific places**
- 10 comments on **specific buildings**
- 5 comments on **other matters**

Section 2 – Heritage Assets

Views and Landscape Character

There were 4 responses that highlighted the need to protect the open countryside and to keep the separation between Hurst and neighbouring settlements.

Specific views and areas that were highlighted as needed protecting included:

- Land west of Lodge Road
- View west from Tape Lane
- Views to and from Castle Hill
- Land south of Hurst
- View of the motorway should be screened

Section 2 – Heritage Assets

Specific Places

In relation to responses on specific places, the following were highlighted as needing protecting:

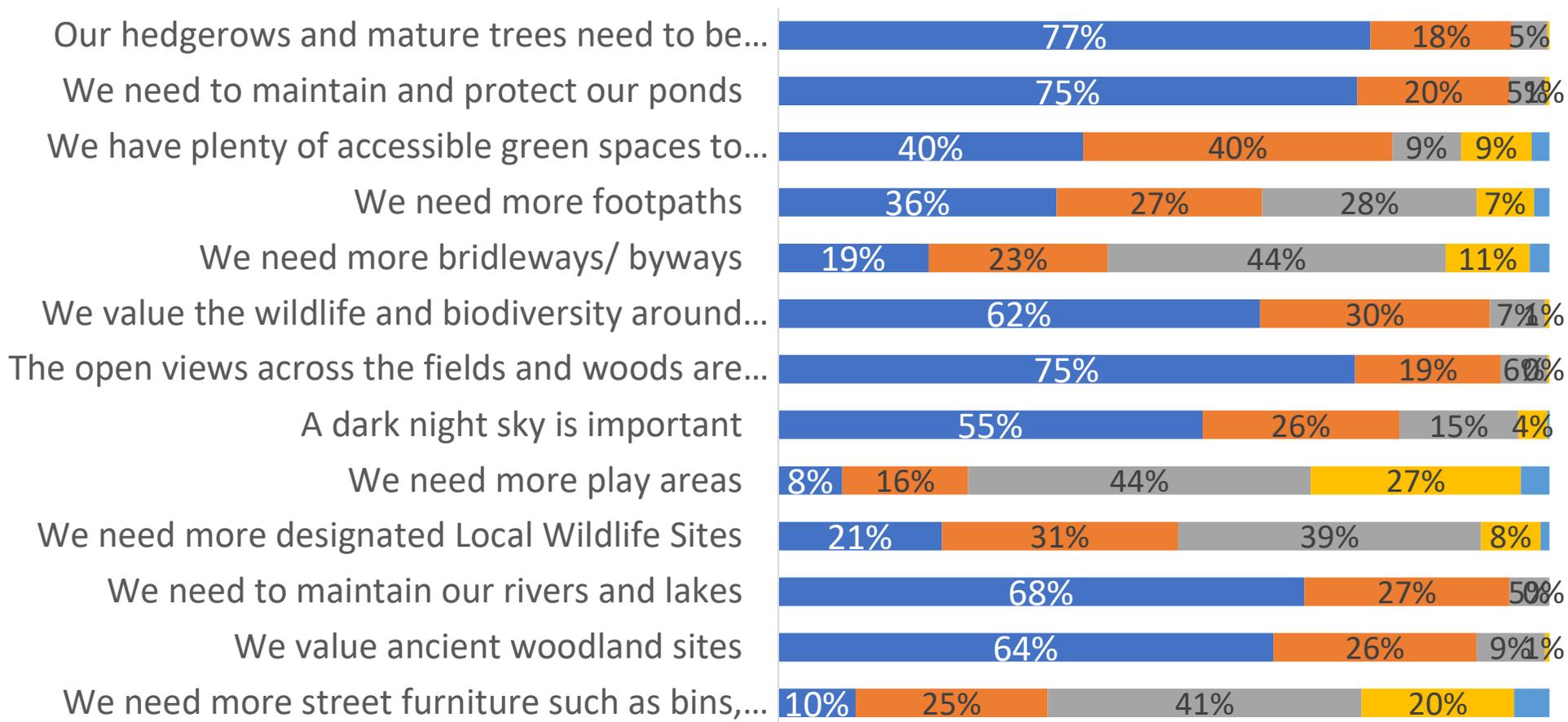
- Dinton Pastures
- Green spaces
- The Pond
- An area that includes Dunt Lane, Little Hill Road and Green Lane
- Wild fowl area of Lavell Park
- Lands End Ford
- Hurst Cricket Club

Section 3 – Environment and Green Spaces

Section 3 asked questions about the environment and green spaces around Hurst.

Q3.1 Opinions on the local environment

■ Strongly Agree
 ■ Agree
 ■ No Opinion/No Response
 ■ Disagree
 ■ Strongly Disagree



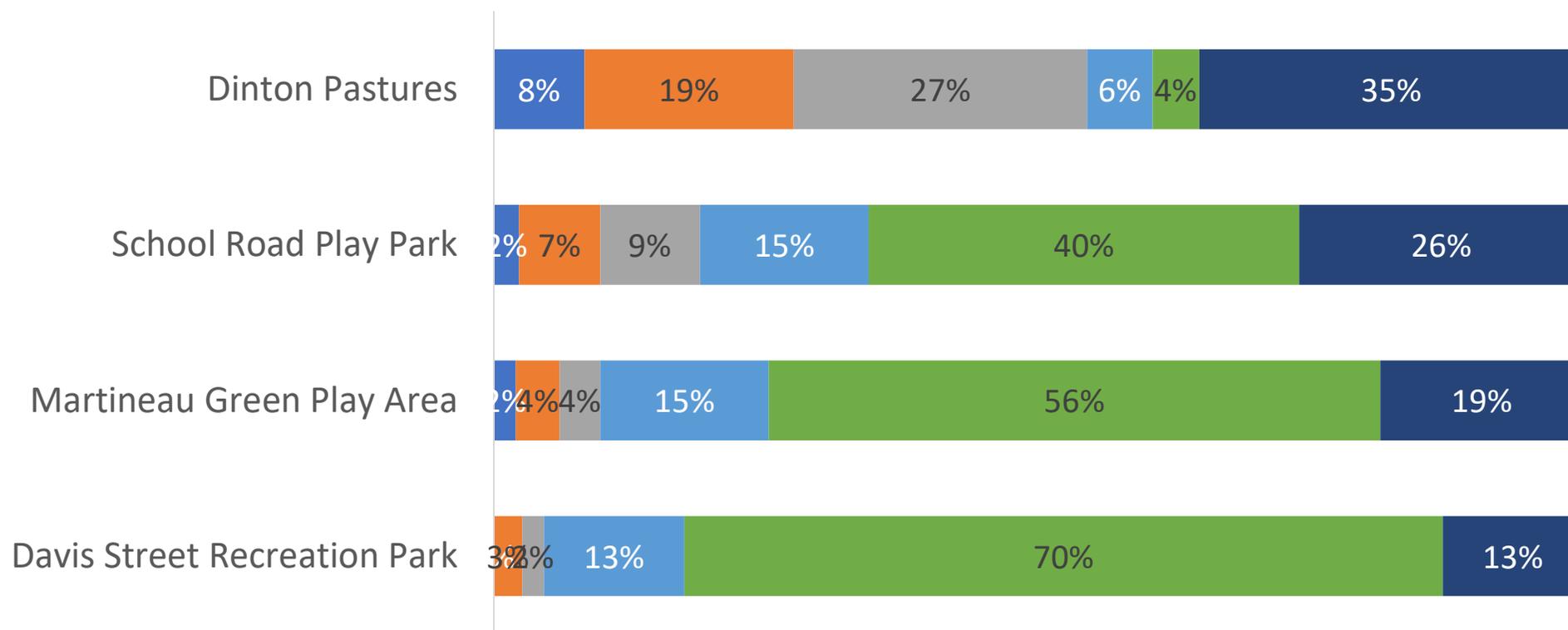
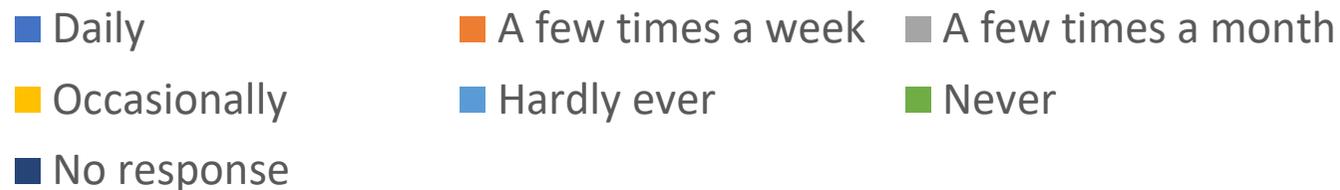
Section 3 – Environment and Green Spaces

In relation to Questions 3.2 and 3.3, there were a lot of suggestions for places that should be considered as Local Green Space, with the field between Broadwater Lane, Tape Lane and Lodge Road being the most popular.

The four most mentioned areas are set out below:

Area of land	Number of times mentioned
Field between Broadwater Lane, Tape Lane and Lodge Road	13
Hurst Cricket Field	9
Pond and woodland adjacent Broadcommon Road	7
Field between School Road and Orchard Road	6

Q3.4 How often do people visit green spaces



Section 4 – Local Community Assets

Q4.1 sought views on whether any areas should be nominated as Local Community Assets, and why.

Q4.2 asked for respondents views regarding the facilities in the village and whether these are sufficient.

Q4.3 asked if there was anything else that respondents felt should be included.

Section 4 – Local Community Assets

Q4.1 asked if there are any assets that should be nominated as Local Community Assets.

The six most mentioned assets are set out below:

Potential asset	Number of times mentioned
Village Hall and Scout Hut	10
Hurst Cricket Field	9
Ponds	6
Willowmead Field	5
Post Office and Shops	5
Football Pitch	4

Q4.2 Views on specific matters

■ Strongly Agree ■ Agree ■ No Opinion/No Response ■ Disagree ■ Strongly Disagree

Having more facilities in the village for children and young people



We have enough village groups and clubs



There needs to be more clubs and activities for the over 60s



Sports facilities need improving



Section 4 – Assets of Community Value

Q4.3 asked if there was anything else that respondents felt should be included.

The six most mentioned matters are set out below:

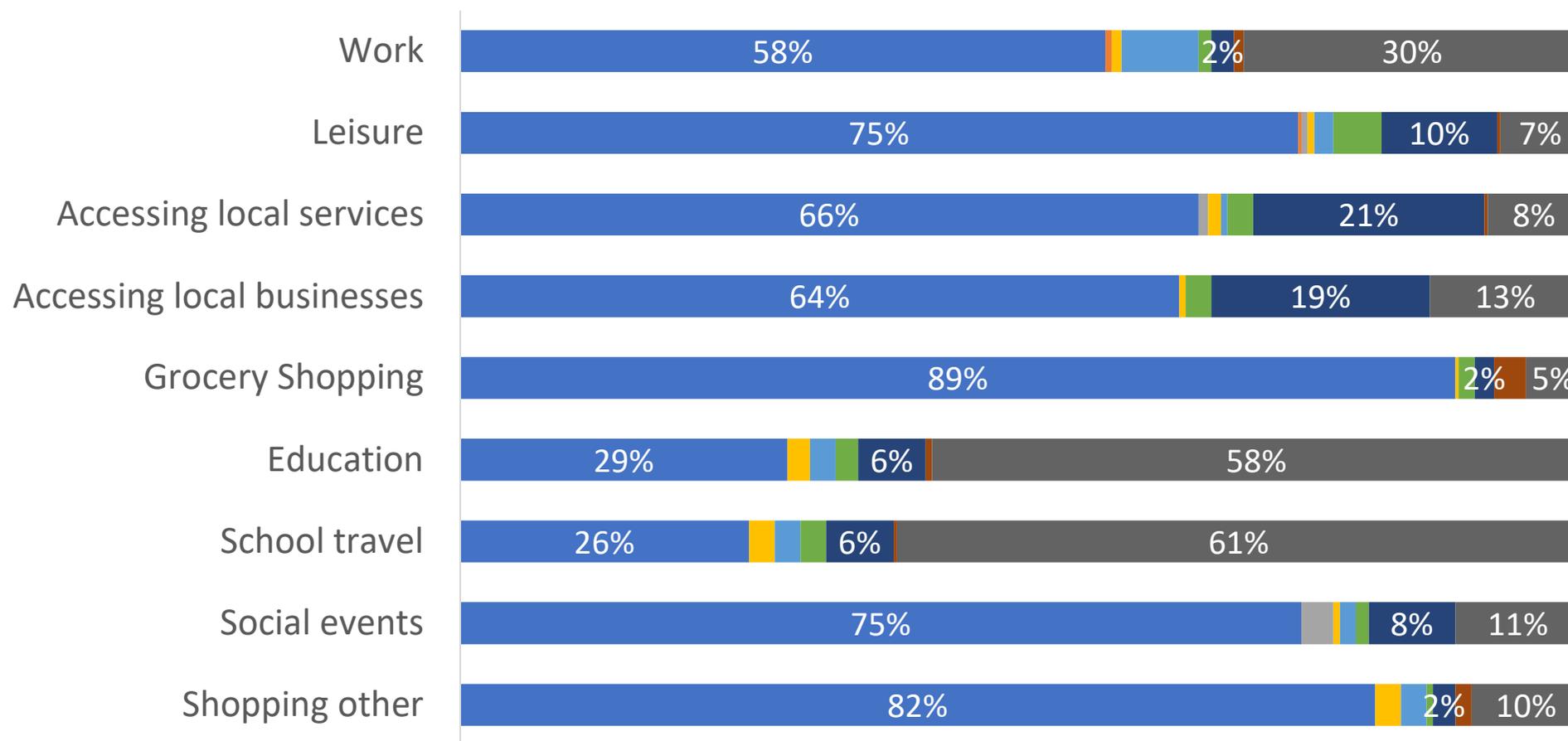
Other matters identified	Number of times mentioned
Insufficient facilities for teenagers	4
Need exercise facilities in parks	4
There is sufficient provision of recreational facilities	3
Tennis courts needed	3
Improvements to bridleways, cyclepaths and footpaths	3
More events needed in the villages/pubs	3

Section 5 – Transport

Section 5 invited views on local transport.

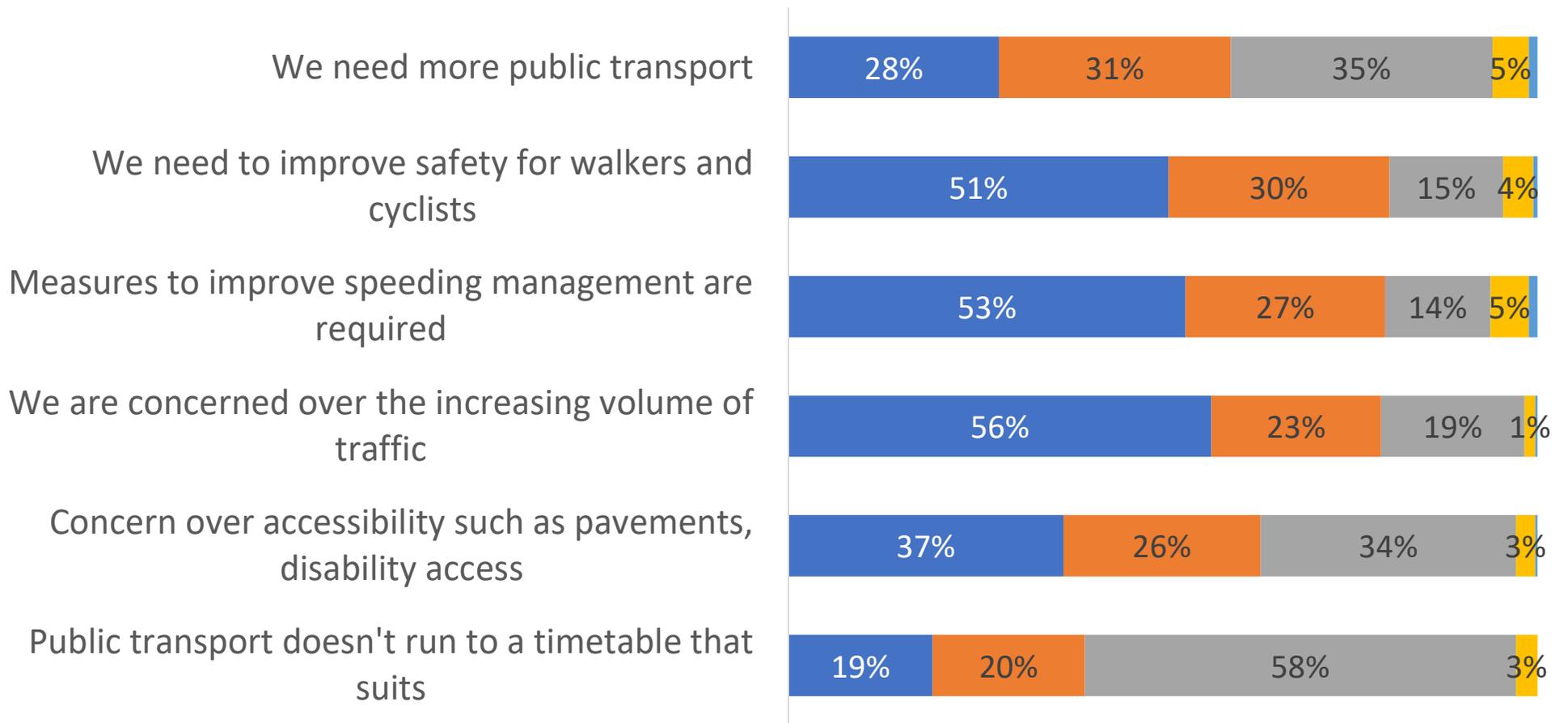
Q5.1 Main method of transport

■ Car
 ■ Motorcycle
 ■ Taxi
 ■ Bus
 ■ Train
 ■ Bicycle
 ■ Walking
 ■ Other
 ■ No Response



Q5.2 Views on specific matters

■ Strongly Agree ■ Agree ■ No Opinion/No Response ■ Disagree ■ Strongly Disagree



Section 5 – Transport

Q5.3 asked if there were any other local transport concerns that respondents would like to mention. The issues raised are set out below:

Other matters identified	Number of times mentioned
Vehicles going too fast / speeding restrictions needed	20
Better bus services needed	9
Improvements to pedestrian safety needed / better footpaths needed	8
Traffic congestion issues	6
Lack of car parking at local railway stations	4
Noise pollution from vehicles / aeroplanes	2
Safe cycle routes needed	1
Large vehicles travelling carelessly through the village	1

Section 6 – Housing Need / Views on Housing

Housing and development were a key topic raised during the community consultations previously undertaken. This section asked for opinions on the future of housing development in Hurst.

In the 2019 Electoral Roll, there were 876 homes.

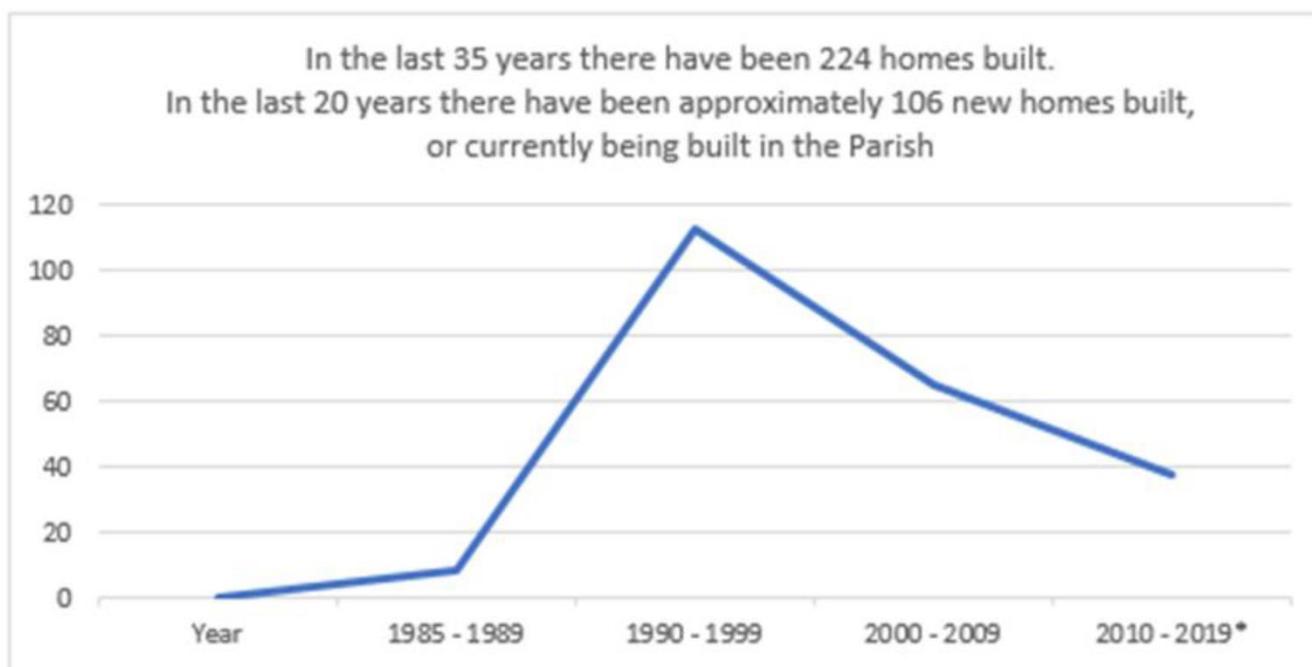
In the 2011 Census, there were 2,059 residents.

Section 6 – Housing Need / Views on Housing

Year	Recent Development in Hurst
1985 - 1989	8
1990 - 1999	113
2000 - 2009	65
2010 - 2019*	38
	Total 224

*Dwellings included in 2019 have permission and are yet to be completed as at June 2019:

- 11 Social Houses (net gain 5)
- 3 Almshouses (net gain 3)
- 16 Valley Nursery (net gain 16)



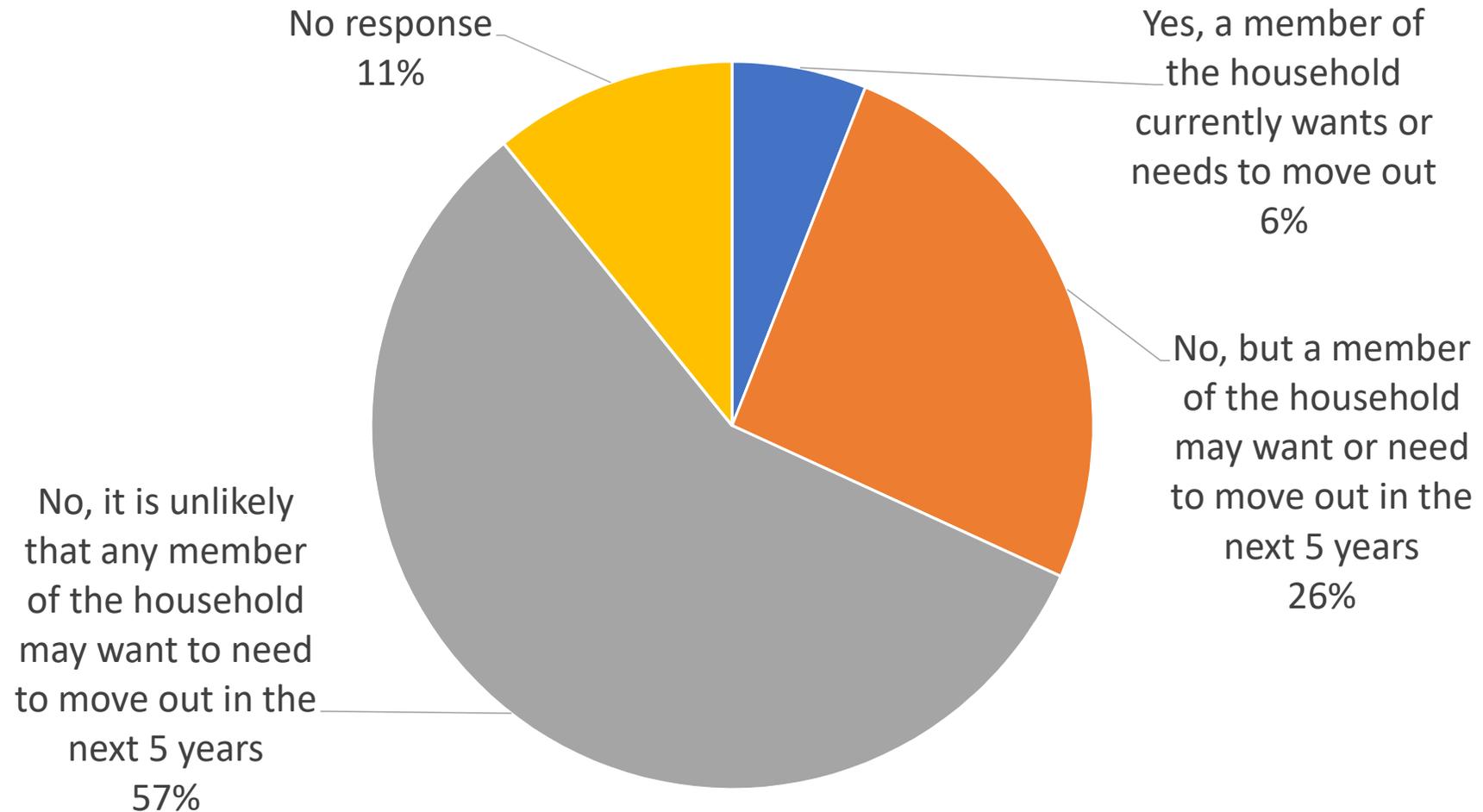
These housing numbers are net gain dwellings. For example, if a barn is converted in to 2 dwellings then that would be a net gain of 2. If a house is replaced by apartments, eg Bonhomie Court in 2002 was 22 apartments, this would be a net gain of 21.

Section 6 – Housing Need / Views on Housing

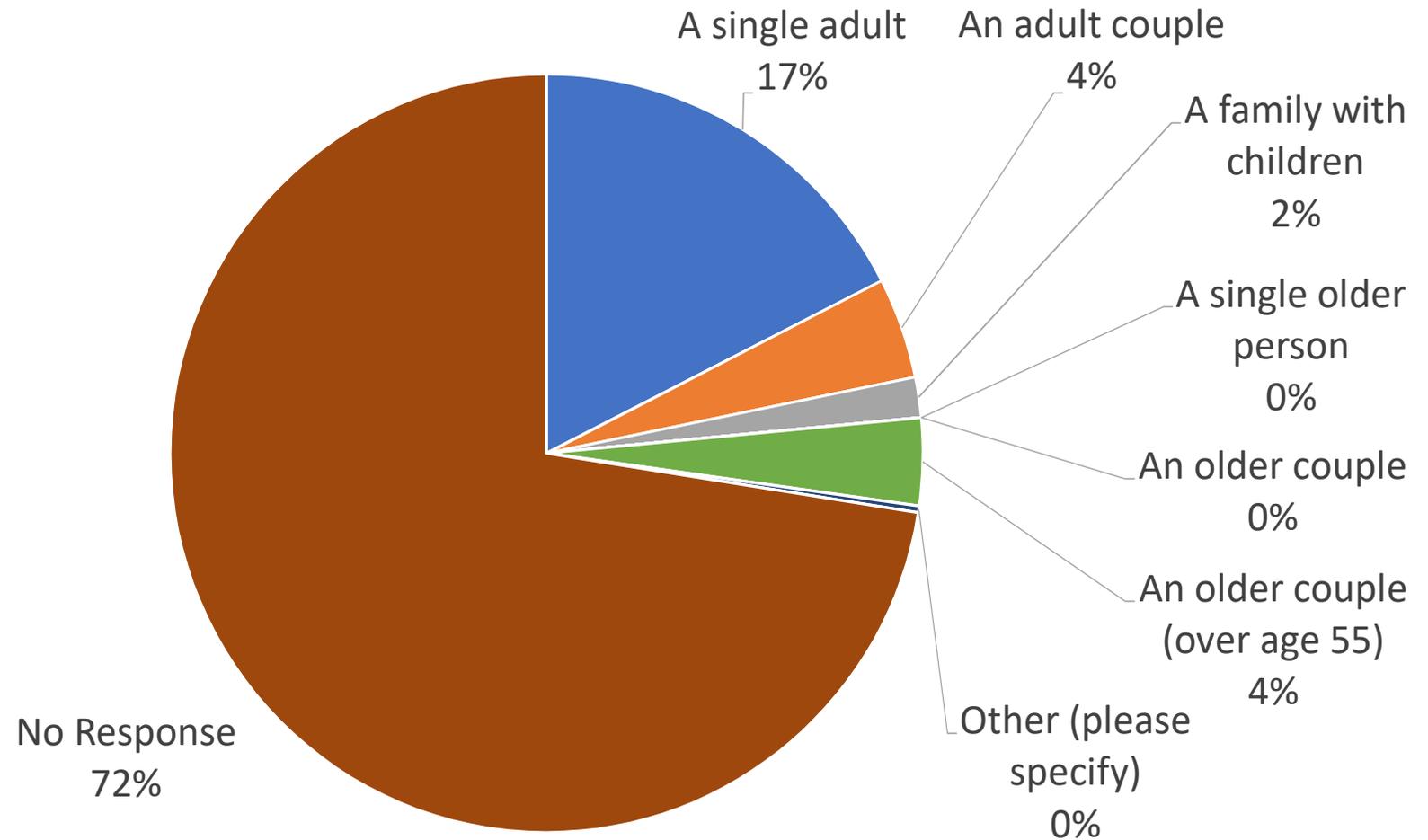
Q6.1 asked whether any member of the household is currently on the housing register. The responses are set out below:

Household has members currently on the housing register	Number of households
Yes	5
No	332
No response	12

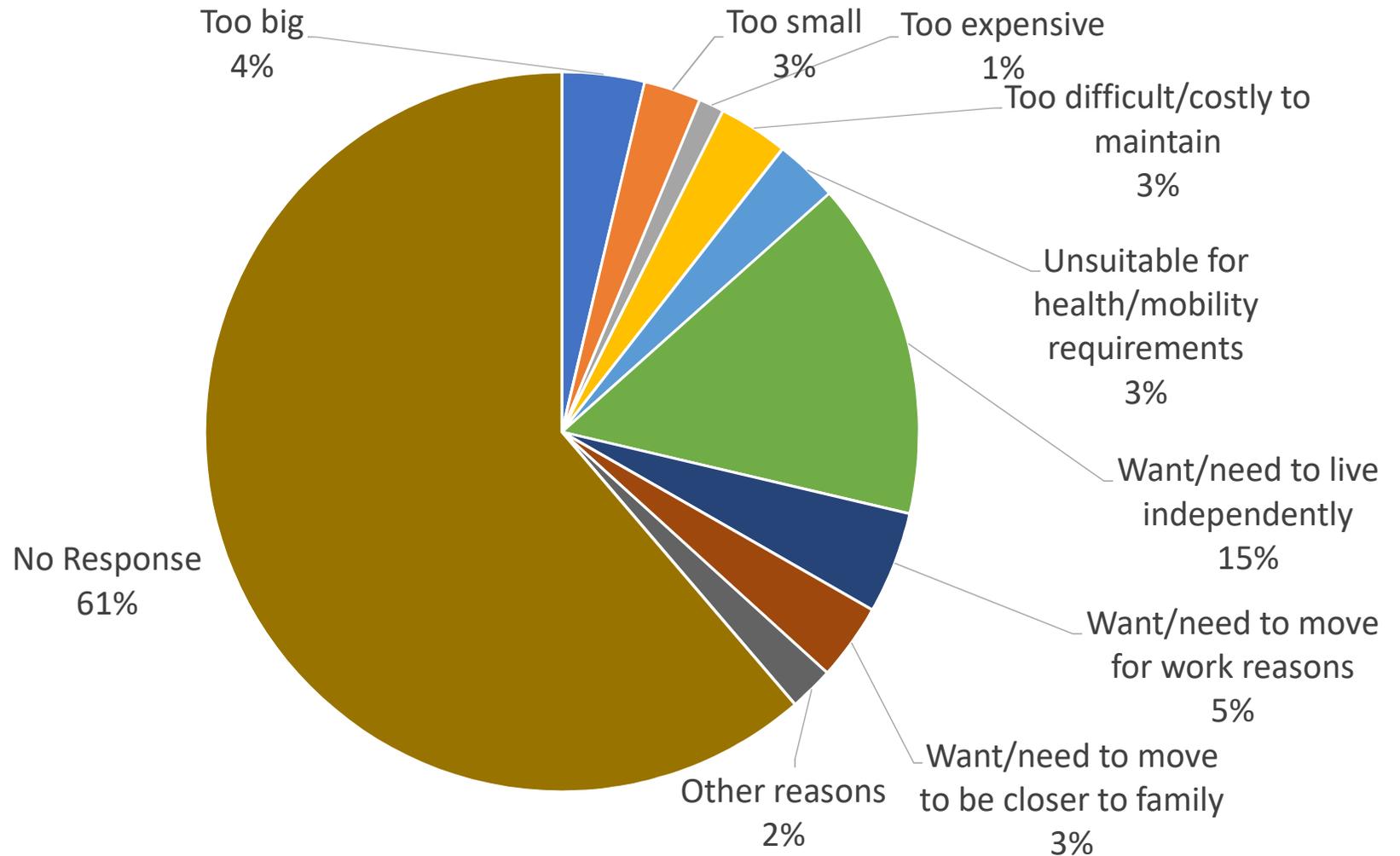
Q6.2(a) Households with members wanting or needing to move out of the property



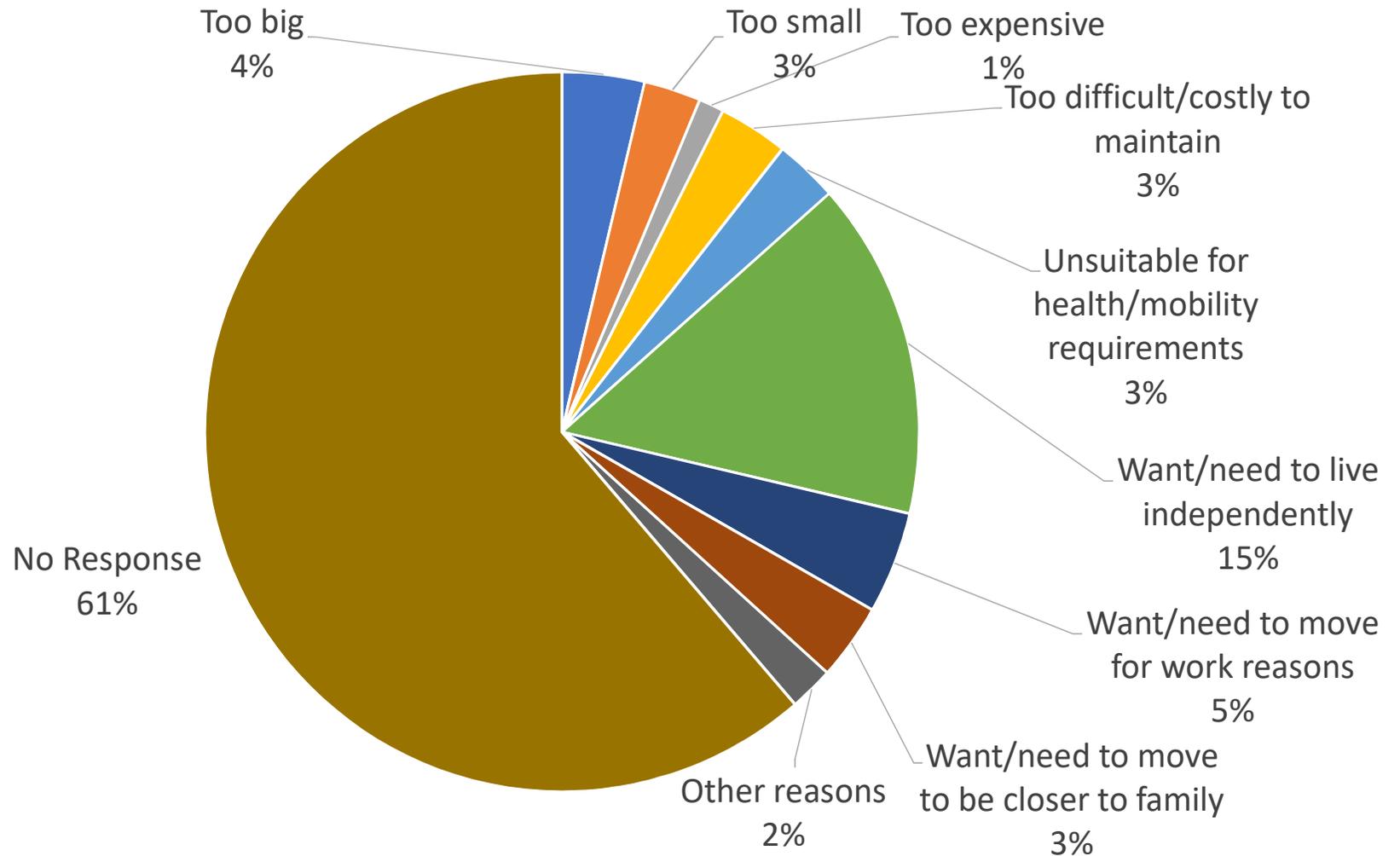
Q6.2(b) Type of household member that needs or wants to move out of the property



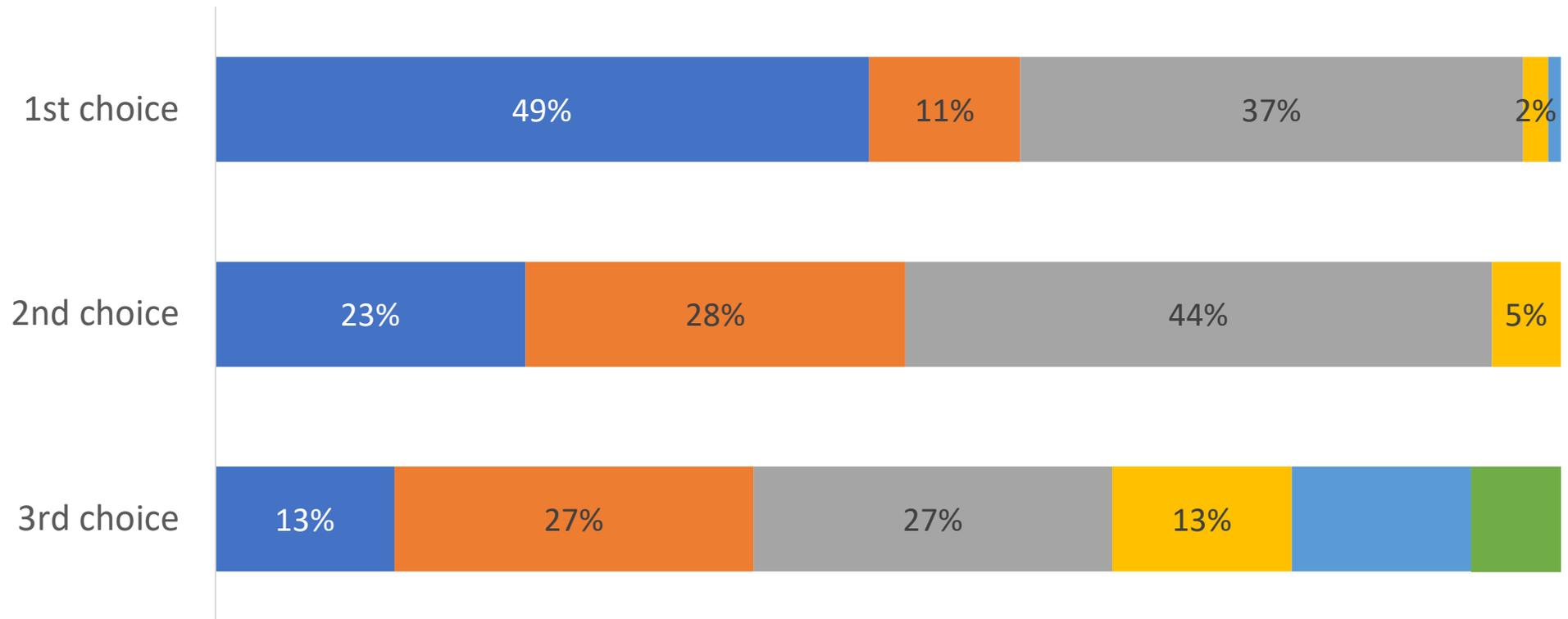
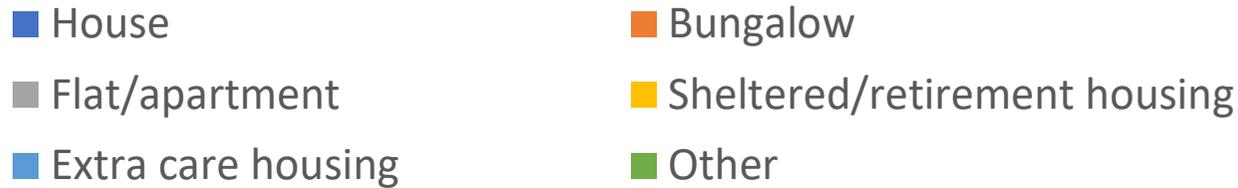
Q6.2(c) Why the current property is unsuitable for the household member wanting or needing to move out



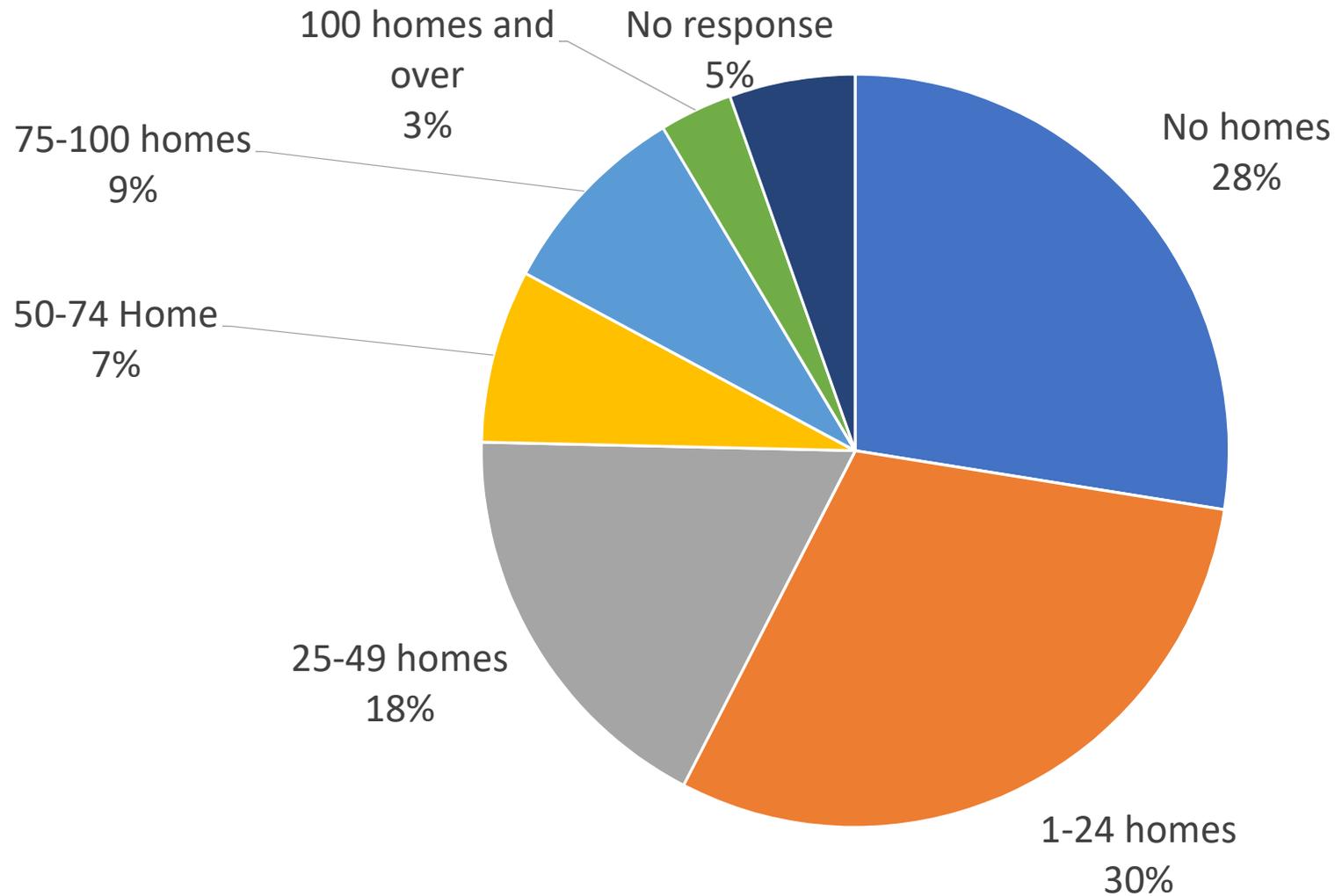
Q6.2(c) Why the current property is unsuitable for the household member wanting or needing to move out



Q6.2(d) Type of property that would be most suitable for the household member wanting or needing to move



Q6.3 Number of new homes that should be built in the village in the next 20 years?



Q6.4 asked for reasons for the number of new homes that should be built over the next 20 years. The reasons given were wide ranging.

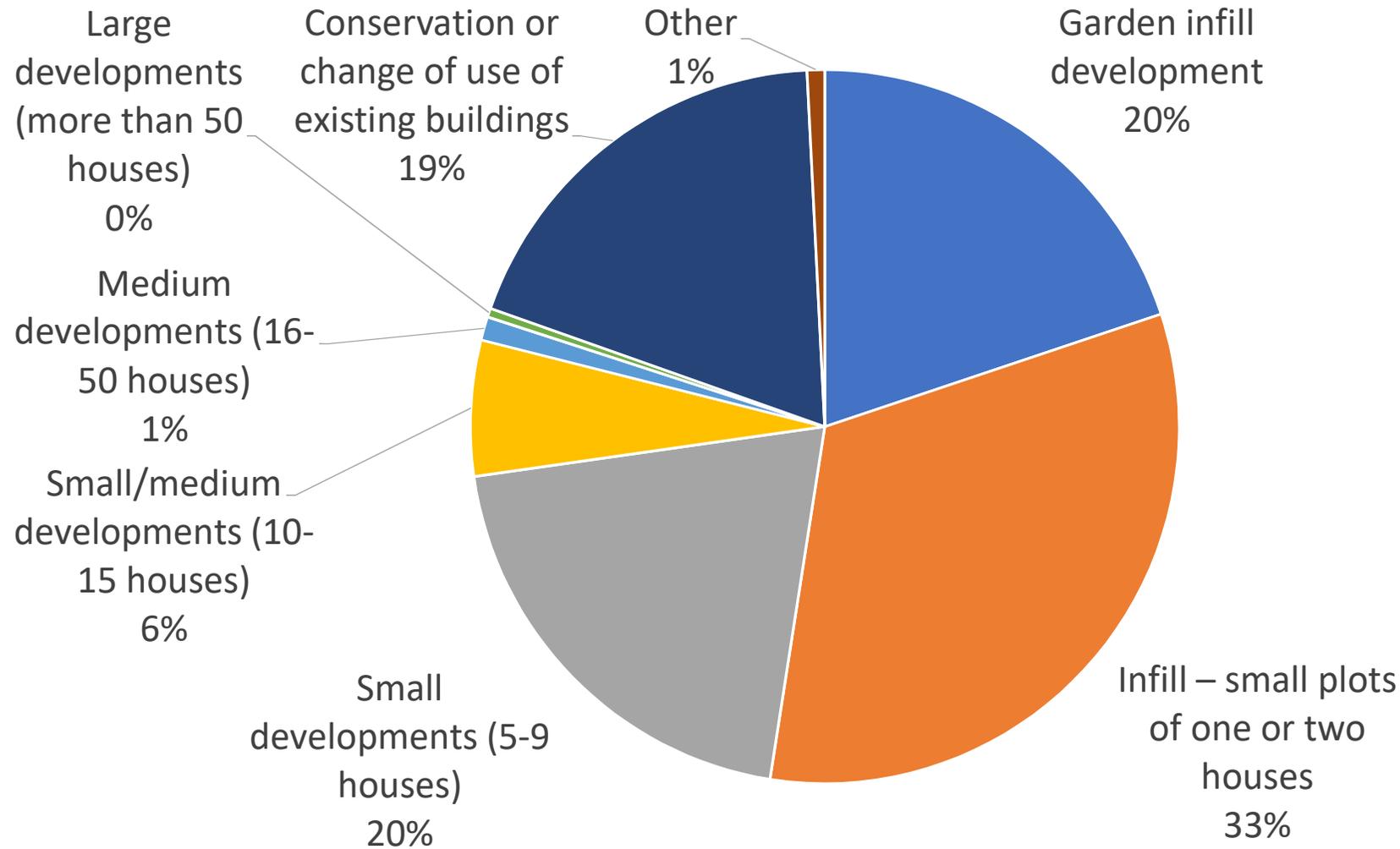
Those that said that **fewer than 50 homes** should be built said that:

- Hurst is already overpopulated
- Potential harm to the character of the area
- Lack of infrastructure to support new housing
- Concerns of traffic and congestion

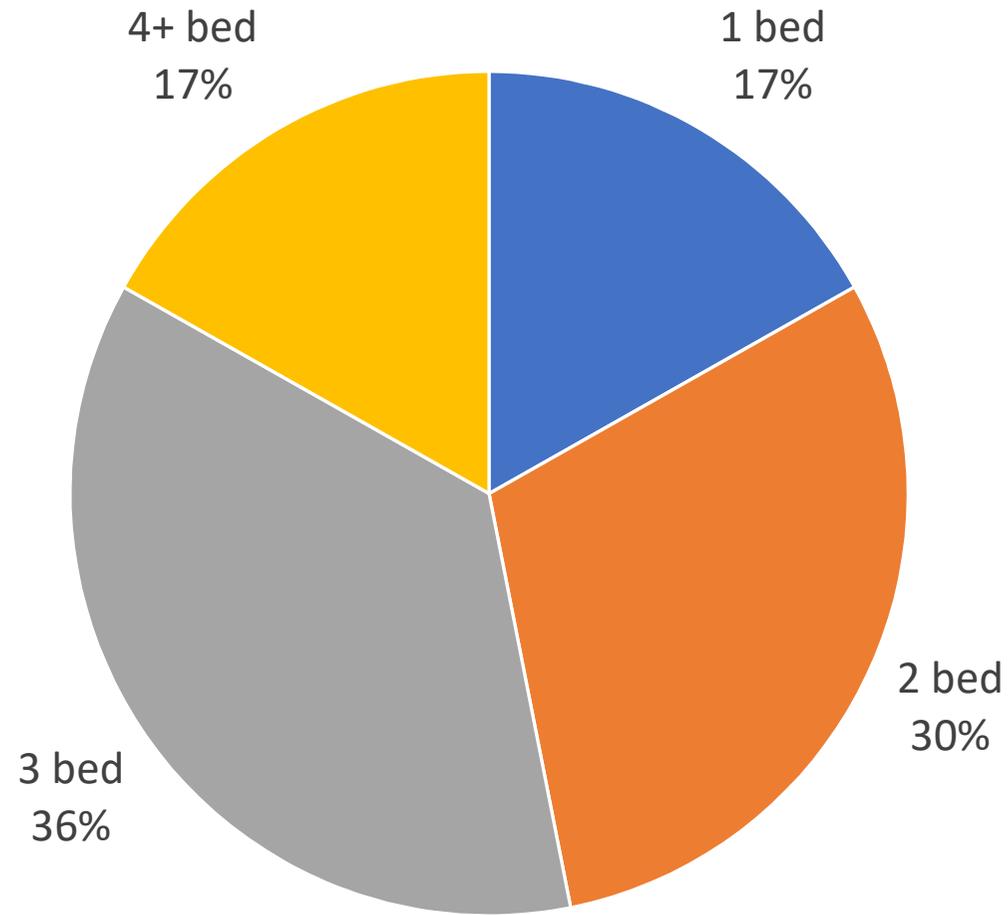
Those that said that **50 or more homes** should be built said that:

- 3-5 new homes per year sounds reasonable
- The character of the area won't dramatically change
- Concerns over were young people/nurses/teachers will live
- More homes are need to support local shops and businesses

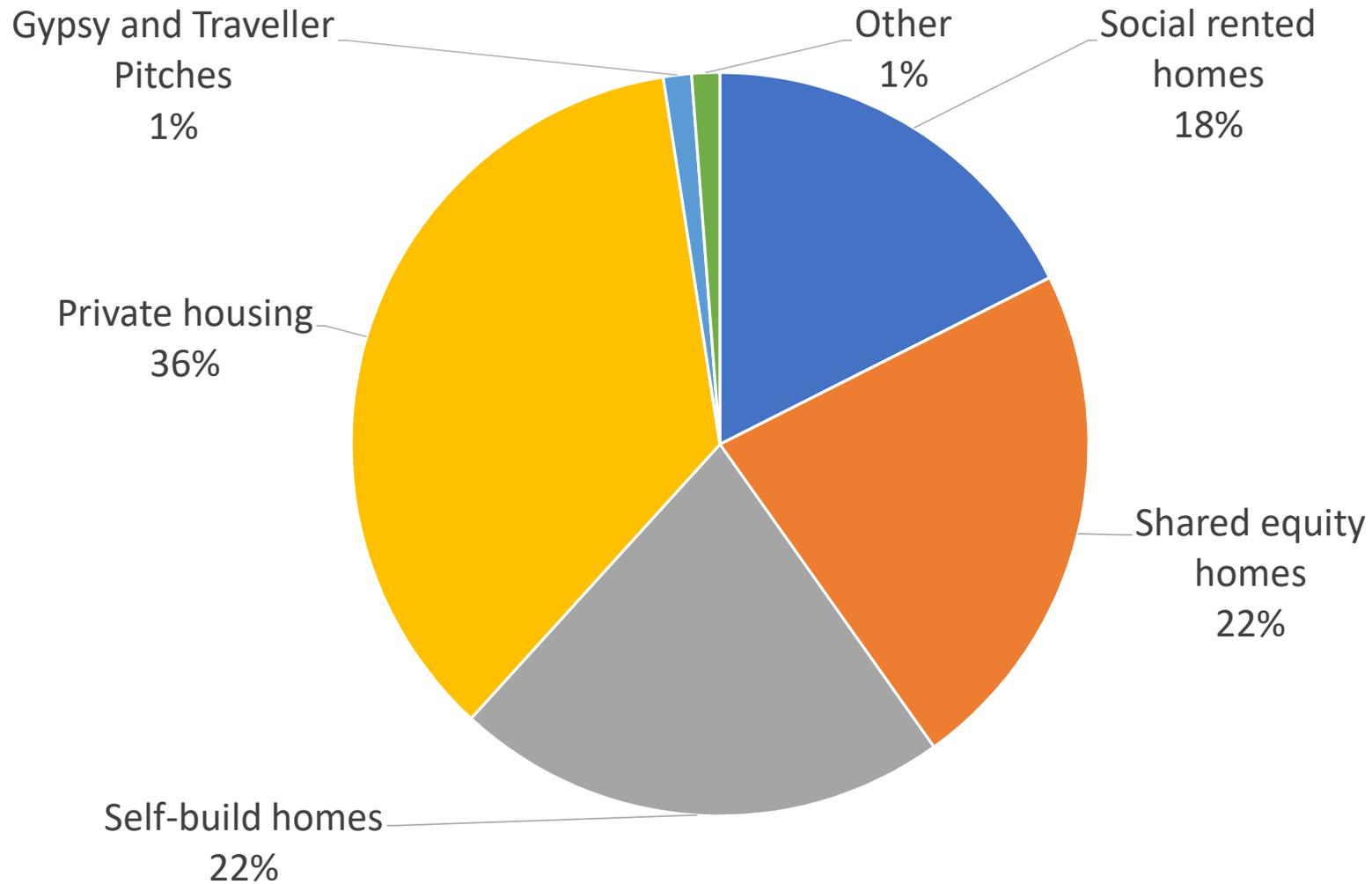
Q6.5 Number of new homes that should be built in the village in the next 20 years?



Q6.6 Preferred size of housing for any future development to take



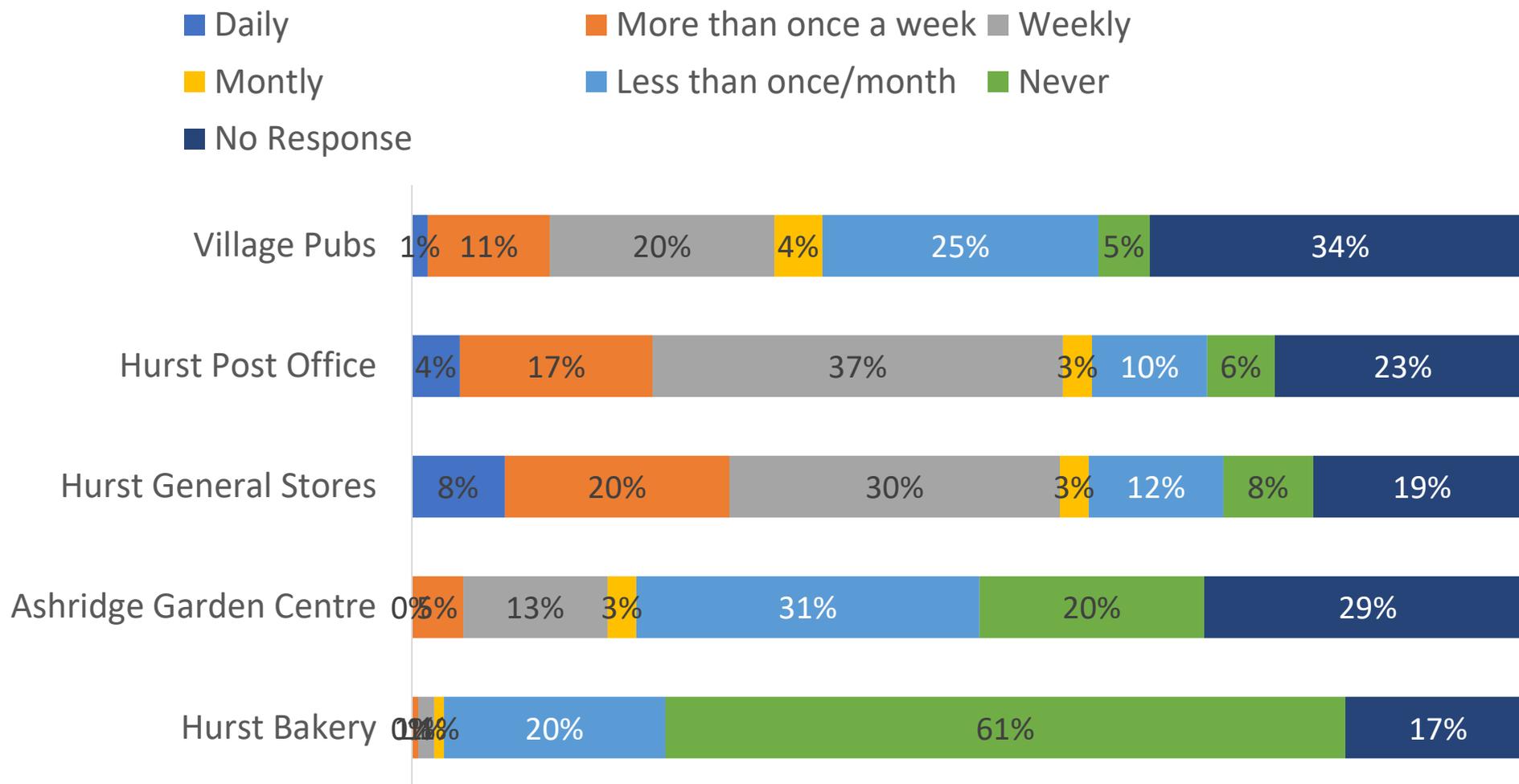
Q6.7 Type of housing there should be more of in the Parish



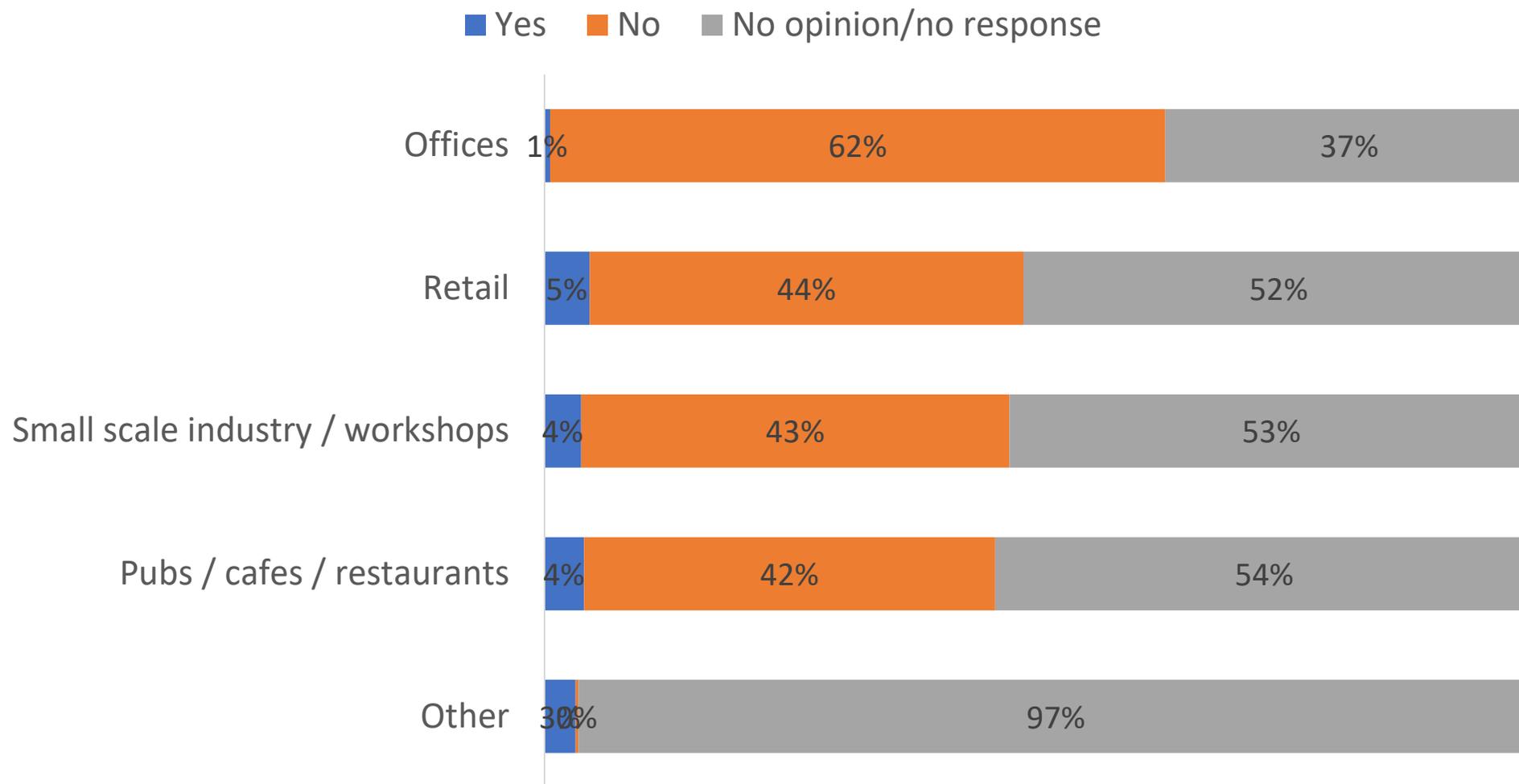
Section 7 – Local Businesses

This section sought views on local businesses

Q7.1 How frequently people use local businesses



Q7.2 Type of business needed by the village

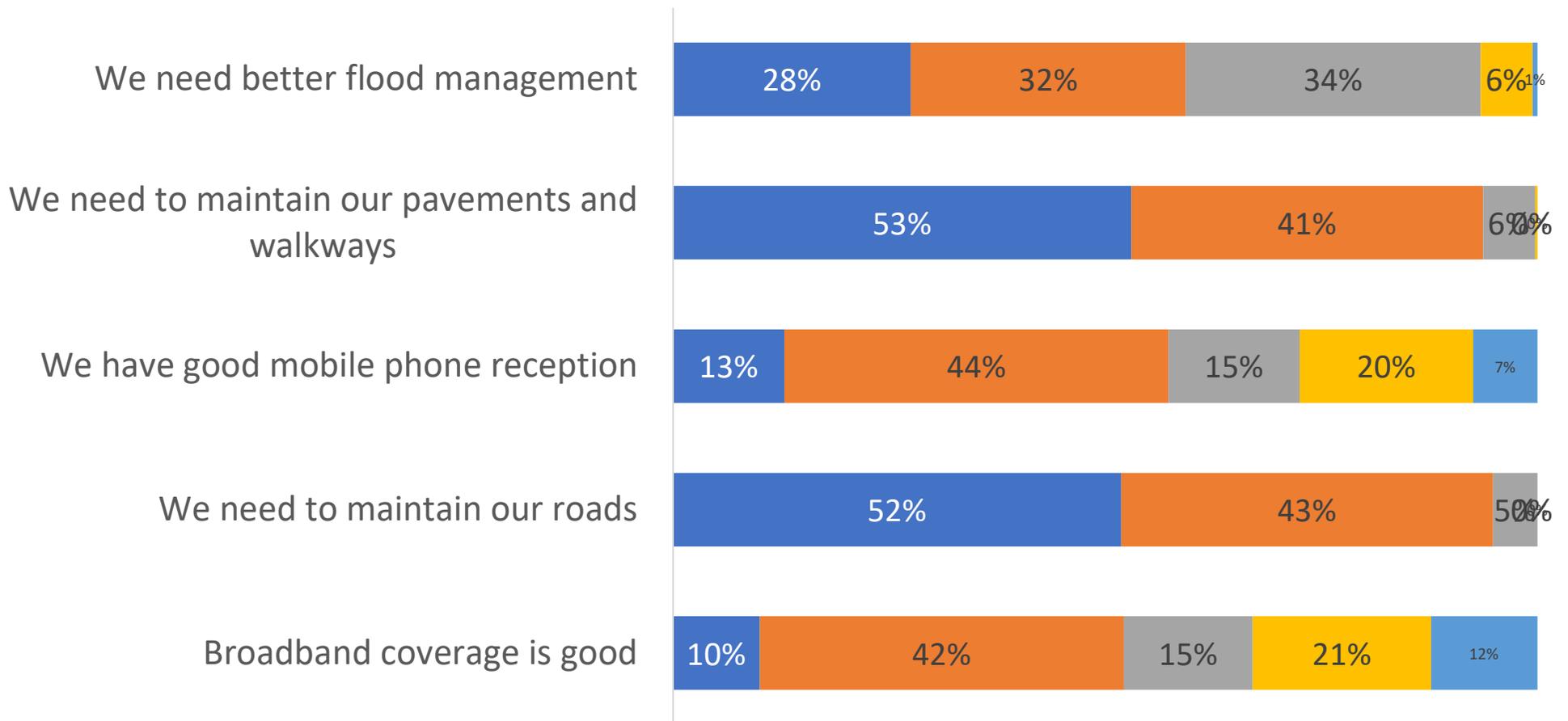


Section 8 – Infrastructure

Infrastructure was a key issue raised during earlier community consultations and further views were sought

Q8.1 Views on statements about infrastructure

■ Strongly Agree ■ Agree ■ No Opinion / No Response ■ Disagree ■ Strongly Disagree



Section 8 – Infrastructure

Q8.2 asked whether there was anything else that respondents felt should be included. Other matters included:

- Issues with water mains pressure
- Issues with sewage
- The state of the duck pond
- Lack of street lighting
- Need to manage ditches
- Issues with tv signal

Section 9 – Further Comments

Section 9 was a free-text section inviting further comments.

A summary of the further comments is set out below:

- Speeding is a big issue / concerns over pedestrian safety
- Access only signs are ignored
- Issues with drains and ditch management
- Need to maintain separation between settlements
- Should encourage conversion of older buildings into flats for younger people
- Dinton Pastures should remain accessible
- Housing targets are flawed
- Concerns over pressures on doctor's surgery and school
- A community/library building would be welcomed

Section 9 – Further Comments

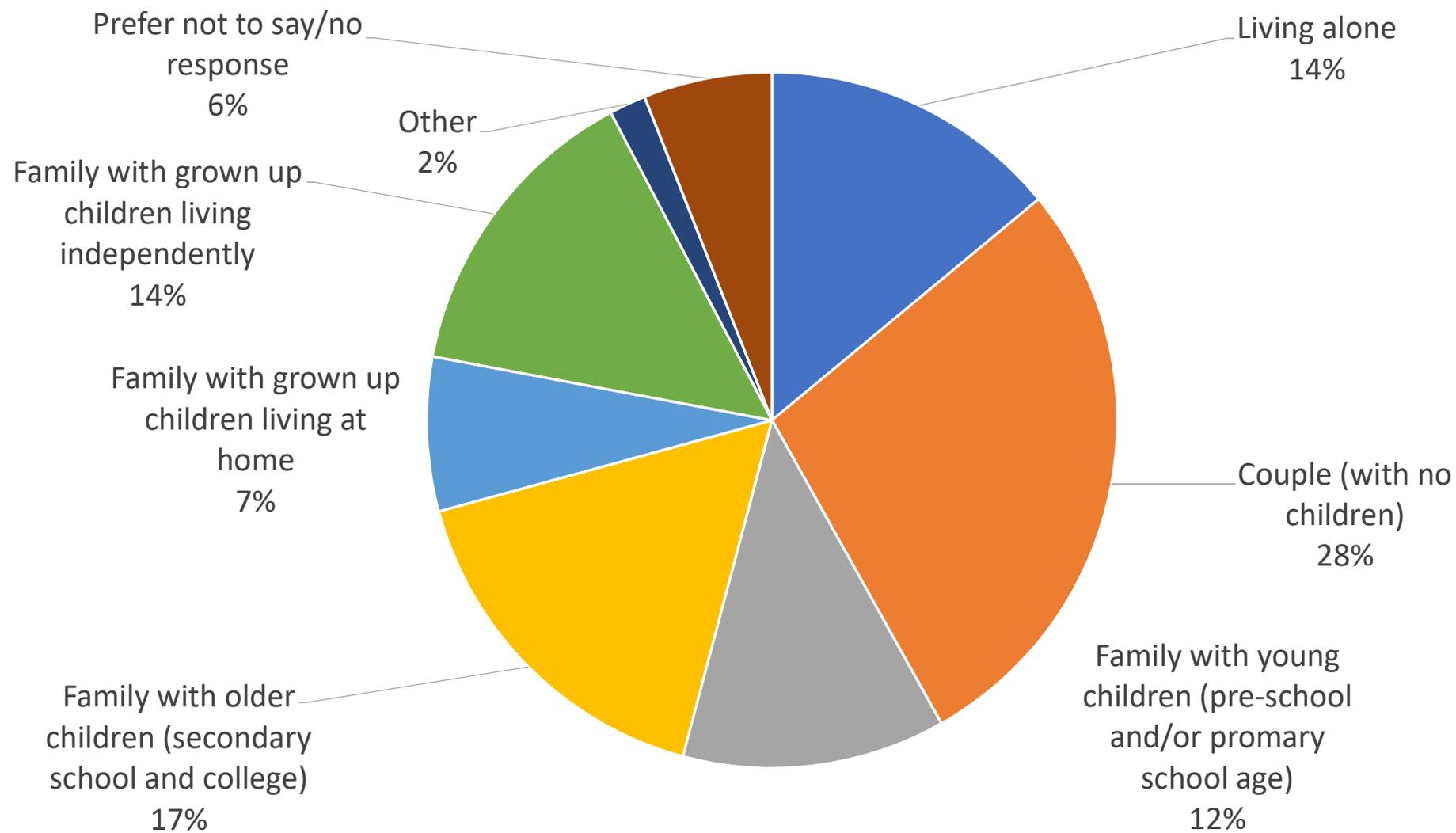
- Concerns over lack of affordable housing for young people means they are not engaged with the community
- Important to retain the rural character of Hurst
- Need more trees planted to help capture carbon dioxide
- Need improved accessibility to parks for people with disabilities
- Concerns over flood risk
- Concerns over extensions to properties
- The village settlement boundary should be withdrawn to address historical anomalies and allow development within it
- Need more people in the village to ensure the sustainability of local shops and services
- Concerns over landscaping and planting around the village
- Need improved access to local facilities and public transport
- Better and more sustainably designed homes needed

Section 10 – Households

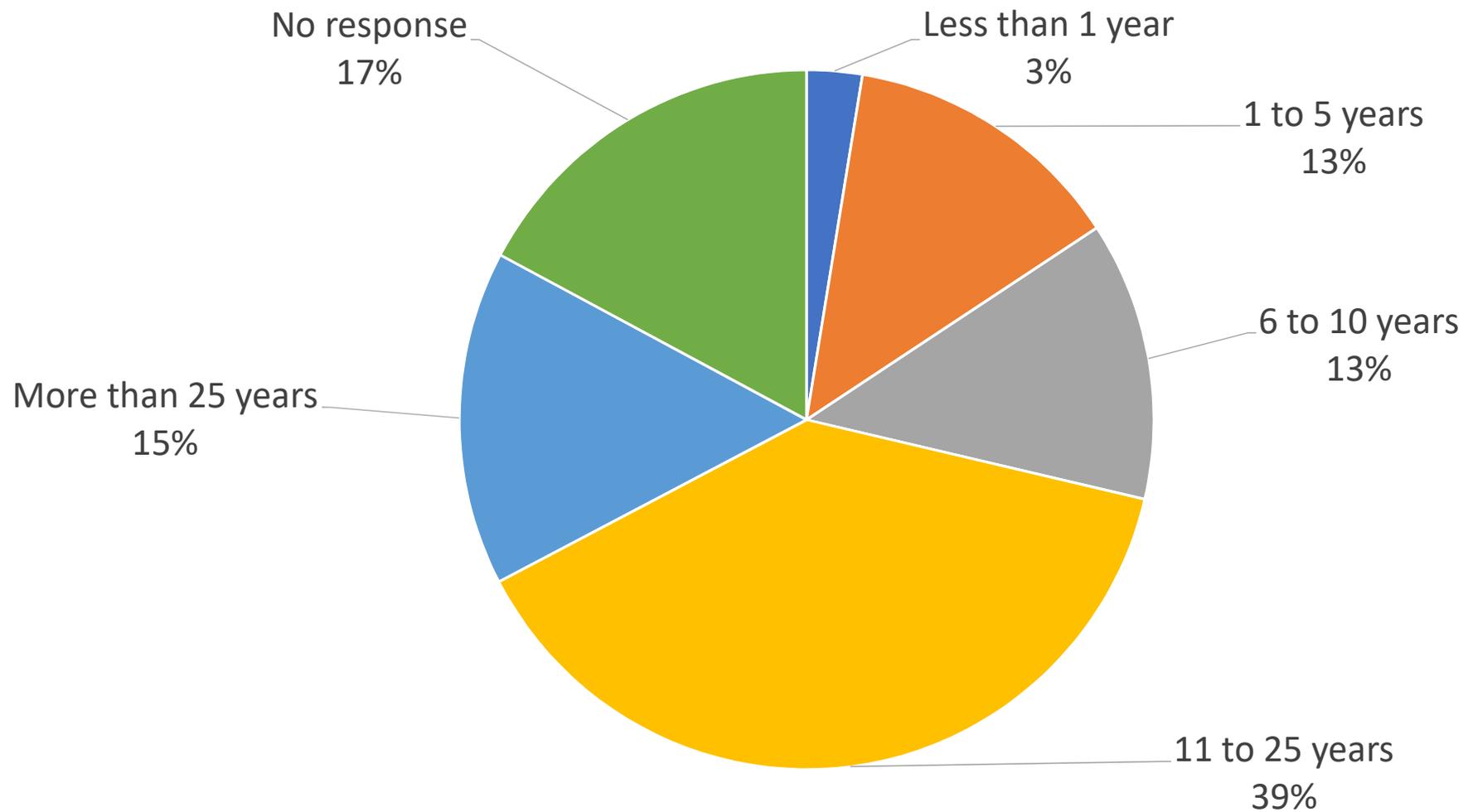
Section 10 asked respondents to answer various questions about the make-up of their household and the type of property that they live in.

Whether it is their main home	Number of households
Yes	338
No	1
No response	10

Q10.1 Make-up of household



Q10.2 Length of time lived in the Parish

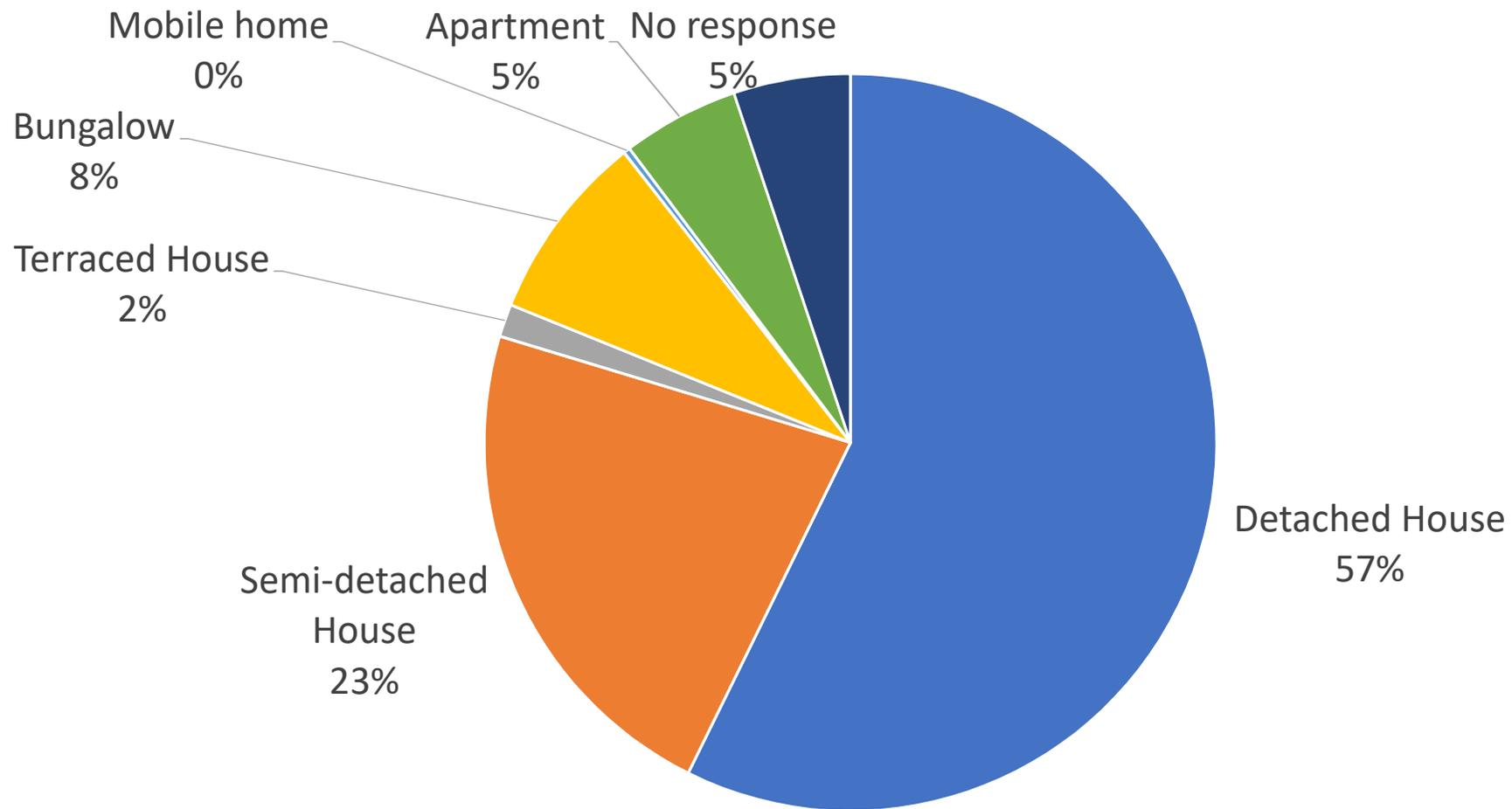


Section 10 – Households

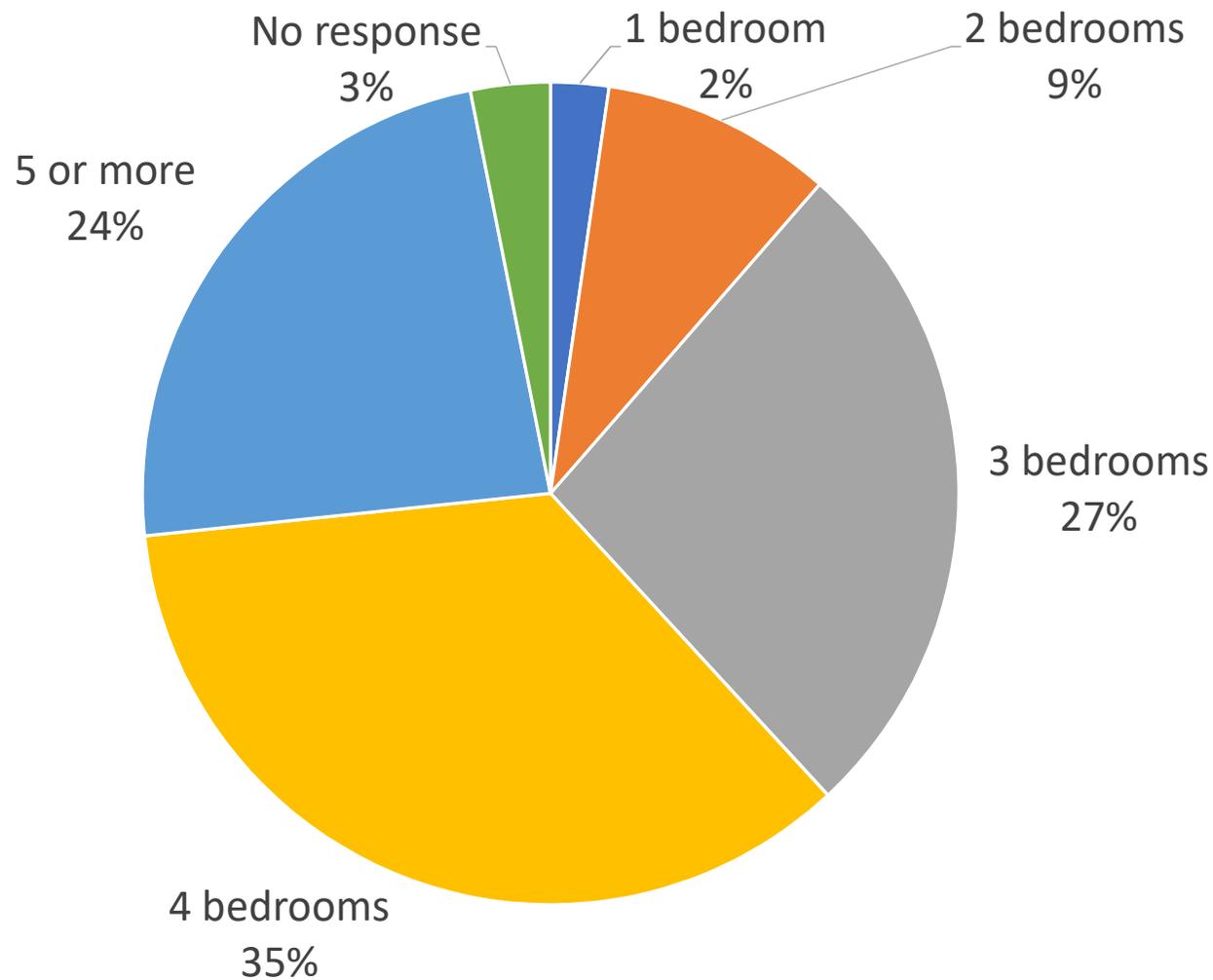
Q10.3 asked whether their property in Hurst is their main home.

The response are set out below:

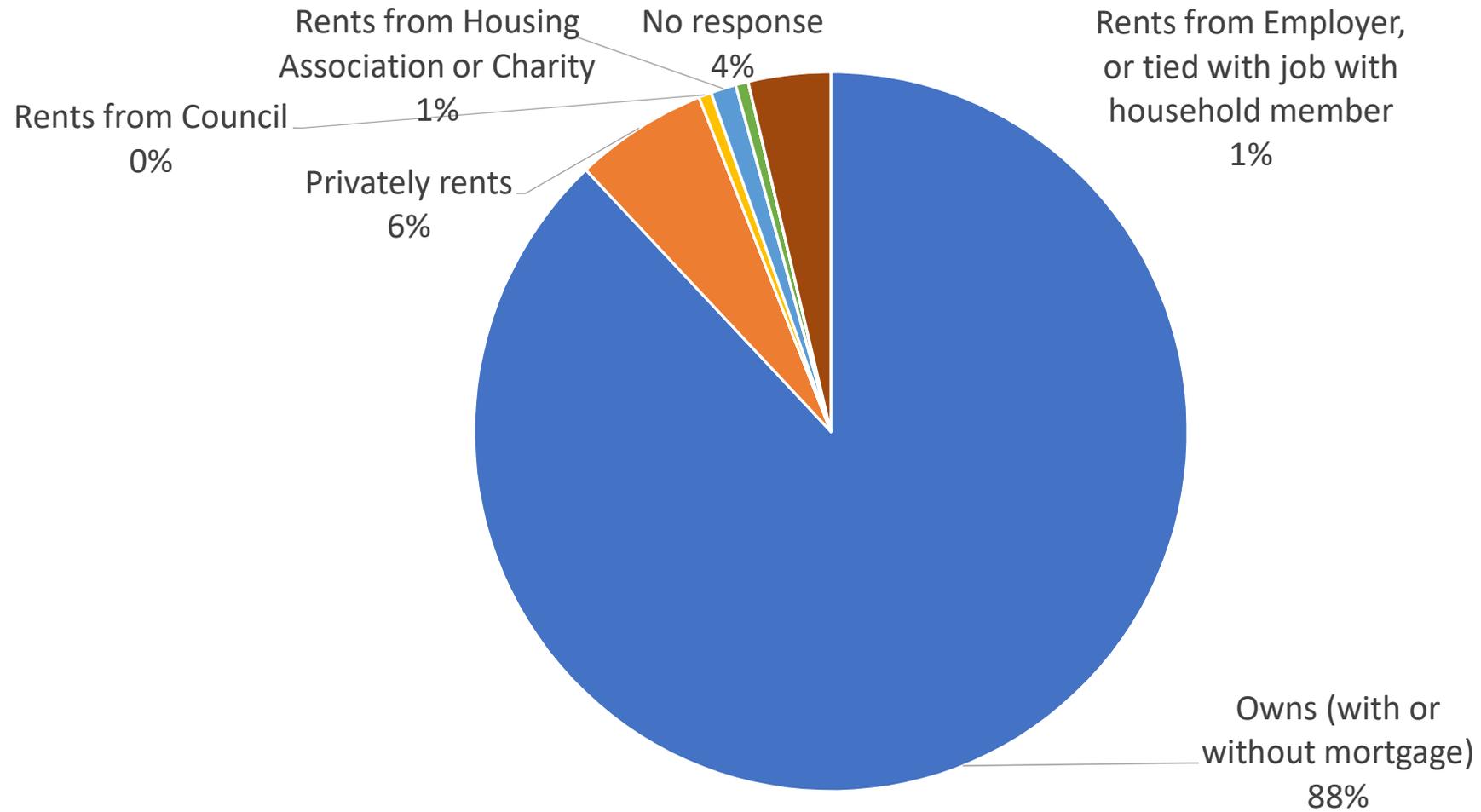
Q10.4 Type of property lived in



Q10.5 Number of bedrooms in property



Q10.6 Housing tenure



Section 10 – Households

Q10.7 asked where children attend school.

St Nicholas Primary School is the most common response to where children go to school. However, what is noticeable is that children who live in Hurst go to a wide range of different schools throughout the area, with a significant number going to school outside the parish.

Questions and Answers

Please let us know if you have any questions on the results or any other matter related to the Neighbourhood Plan

To keep up-to-date with the preparation of the Neighbourhood Plan and for further information, please visit: www.hurstplan.uk